

TO: DEVELOPMENT REVIEW BOARD
FROM: CURRENT PLANNING SERVICES
SUBJECT: CASE 69-DR-2003
REQUEST: Approve site plan & elevations for new grocery store and drug store to replace existing buildings
PROJECT NAME: Bashas Shopping Center
LOCATION: 8035 E Indian School Rd

DATE: November 20, 2003

DEVELOPER/OWNER: Bashas Inc.
ARCHITECT/DESIGNER: Butler Design Group
ENGINEER: Norman Engineering Group Inc
APPLICANT/COORDINATOR: Pederson Group Inc/Gary Pederson
2800 N Central Ave Ste 1500
Phoenix, AZ 85004
602-265-2888

STAFF RECOMMENDATION: APPROVE subject to the attached stipulations.

PUBLIC COMMENTS: There have been some general phone inquiries about the project, and one person did not like the appearance building elevations. No other comments were received.

REQUEST: This is a request for site plan and elevation approval for a new grocery store and drugstore. The proposal will replace the existing shopping center.

LOCATION & ZONING: The property is located at 8005 E. Indian School Road near the southeast corner of Hayden Road and Indian School Road. The property is zoned Neighborhood Commercial district (C-1).

CHARACTERISTICS: The site contains an existing retail shopping center, and is adjacent to single family homes to the east and south, separated by an alley. The proposal will replace the existing shopping center. The existing McDonald's restaurant at the northwest corner of the property is not included in this application.

HISTORY: The original shopping center was developed in the 1950s and remodeled in the mid 1970s (50-DR-1974). The center received a minor facelift in 1987 (42-DR-1987). In 2002, the Development Review Board approved a remodel of the entire shopping center (50-DR-1974#2), however that remodel project never occurred.

DISCUSSION: The applicant proposes to replace the existing shopping center with new buildings, parking lot, and landscaping. The building and parking lot locations will be in a similar configuration as the existing center. The new buildings will include a 48,000 sq.ft. grocery store (Basha's) and a 14,000 sq.ft. drugstore (Walgreens), and additional

landscaping will be provided in the parking lot and around the center. The new buildings will range in height from 24 to 30 feet, with tower elements reaching a heights ranging from 38 to 44. 6 feet. A drive-through window is proposed at the west end of the drugstore building and is visible from Hayden Road.

The building will be constructed with concrete block with sand stucco finish painted a variety of tan and brown paint colors. Brick and ledgerstone materials will provide more color and texture to the building. There are upper story window features on the north elevation of both the grocery store and the drugstore. The larger window above the entrance at the entry tower of the proposed drugstore is designed to provide an illuminated unoccupied storefront display window with a mortar and pestle logo behind the glass. The applicant has agreed to minimize the display window affect of the larger window by recessing the glass a minimum of 30 inches, providing a background color that matches one of the building's exterior colors, eliminating neon lighting on the mortar and pestle logo, and reducing the interior light levels.

The site and parking lot will have more landscaped open space than provided by the existing site, and there are improved pedestrian connections through the site. A new 8-foot tall block wall along the south and east property lines will replace the existing 6-foot wall. New landscaping will also be provided, where possible, along the south and east property lines, as well as pedestrian connection to the neighborhood to the south and east (as requested by the neighborhood).

RELATED CASES:

There is a related abandonment application of approximately 14 feet of excess public street right-of-way along the south side of Indian School Road adjacent to the shopping center. On November 5, 2003, the Planning Commission recommended approval of the abandonment to City Council. The City Council will decide on the abandonment at their December 9, 2003, hearing. If approved, the excess right-of-way will be incorporated into the adjacent shopping center as open space.

50-DR-1974, 42-DR-1987, 50-DR-1974#2, 9-AB-2003

Tim Curtis
Project Coordination Manager
480-312-4210

ATTACHMENTS:

- #1-Project Narrative
- #2-Context Aerial
- #2A-Aerial Close-Up
- #3-Zoning Map
- #4-Site Plan
- #5-Landscaping Plan
- #6-Elevations
- A-Stipulations/Ordinance Requirements

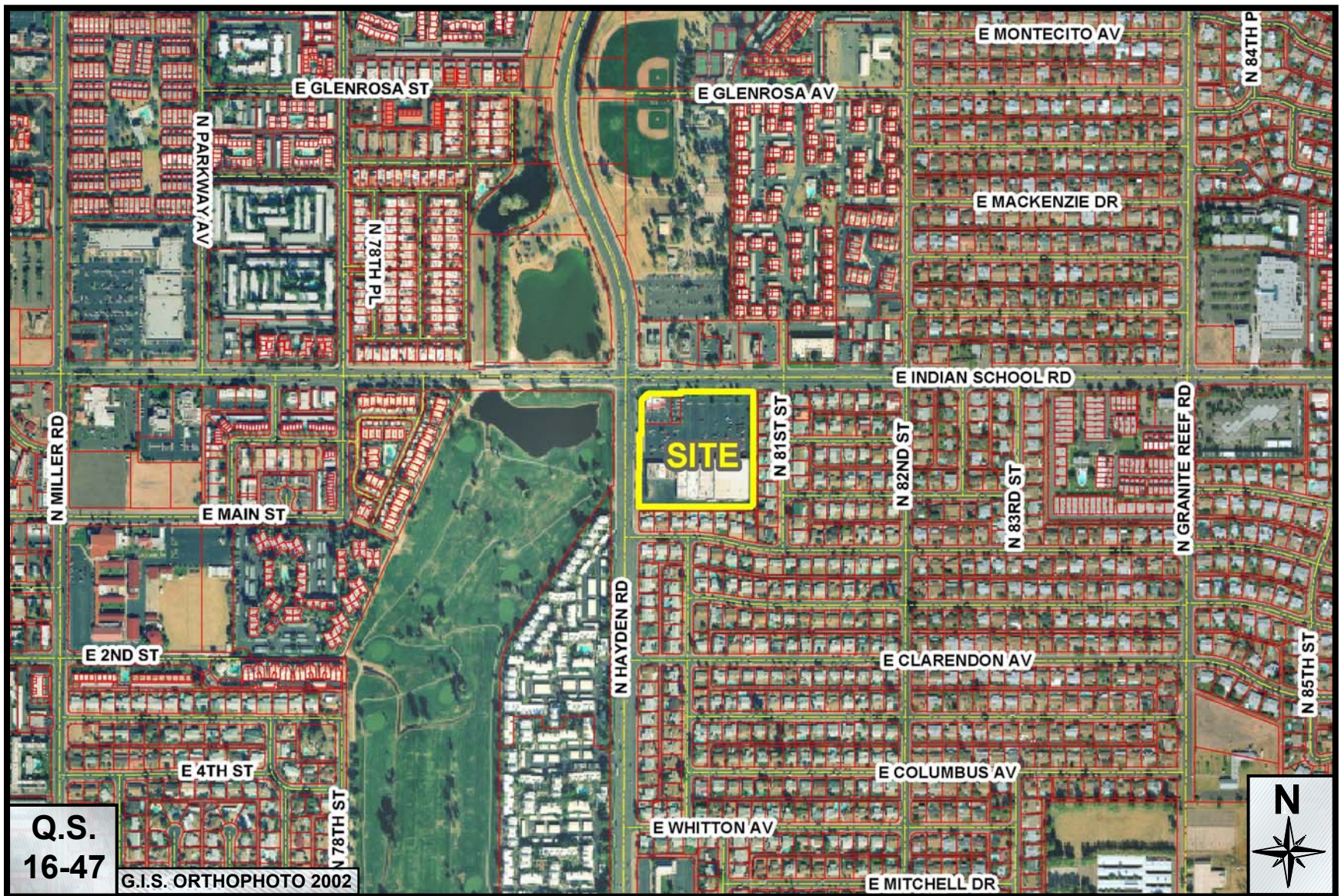
Narrative
Application for Development Review Board Approval
Bashas Shopping Center
SEC Hayden Road & Indian School Road

The Pederson Group has been engaged to redevelop the existing Bashas-anchored Shopping Center located at the southeast corner of Hayden Road and Indian School Road, which is more than 50 years old. The redevelopment plan is to demolish the existing buildings, and replace them with a modern Bashas Grocery Store which will be much more upscale in nature and design, a modern Walgreen's Drugstore, and new hardscape and landscape.

The redeveloped architecture presents itself with heavily articulated masses of various colors and textures. The vertical massing breaks up the linear plane with announcement of the entries for both Walgreen's and Bashas. Stone veneer and founders block create variations of shadows and color. The pedestrian scale is developed by various canopy configurations which provide shaded walkways and interest at the pedestrian level. Hardscape is plentiful and integrated into the centers circulation providing shaded walkways and borders for the many planters. The overall use of materials is contemporary but responsive to the brick color and coursing throughout the residential neighborhood to the south.

The existing landscaping will be completely be replaced with lush, new landscaping which will be comparable to the landscaping located at the six other major Shopping Centers that have been developed by The Pederson Group in the City of Scottsdale over the last decade. Indian School Road is a major entry to downtown Scottsdale, and the redevelopment of this Shopping Center will significantly contribute to the image of this major gateway.

69-DR-2003



Basha's Shopping Center

69-DR-2003

ATTACHMENT #2



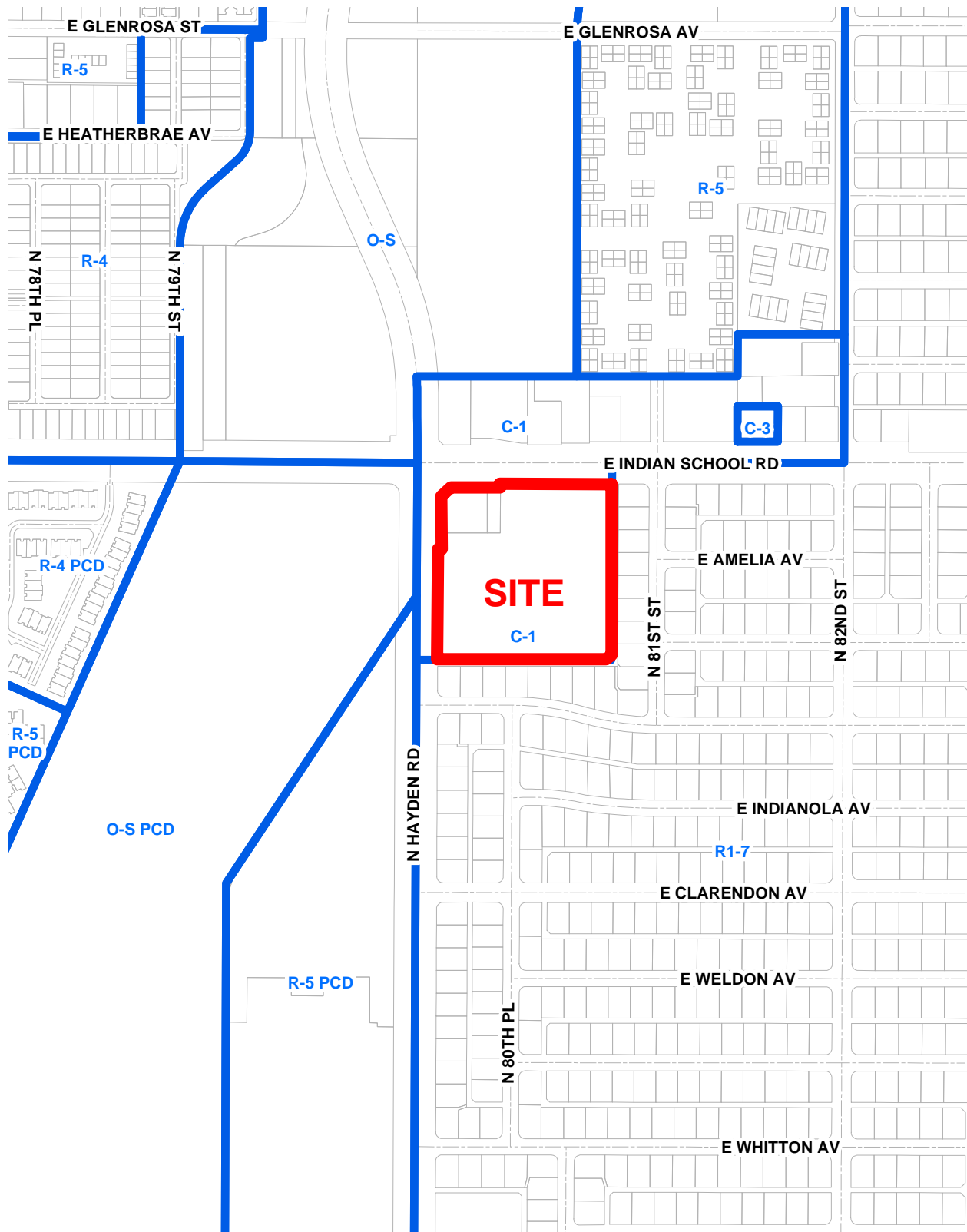
Q.S.
16-47

G.I.S. ORTHOPHOTO 2002

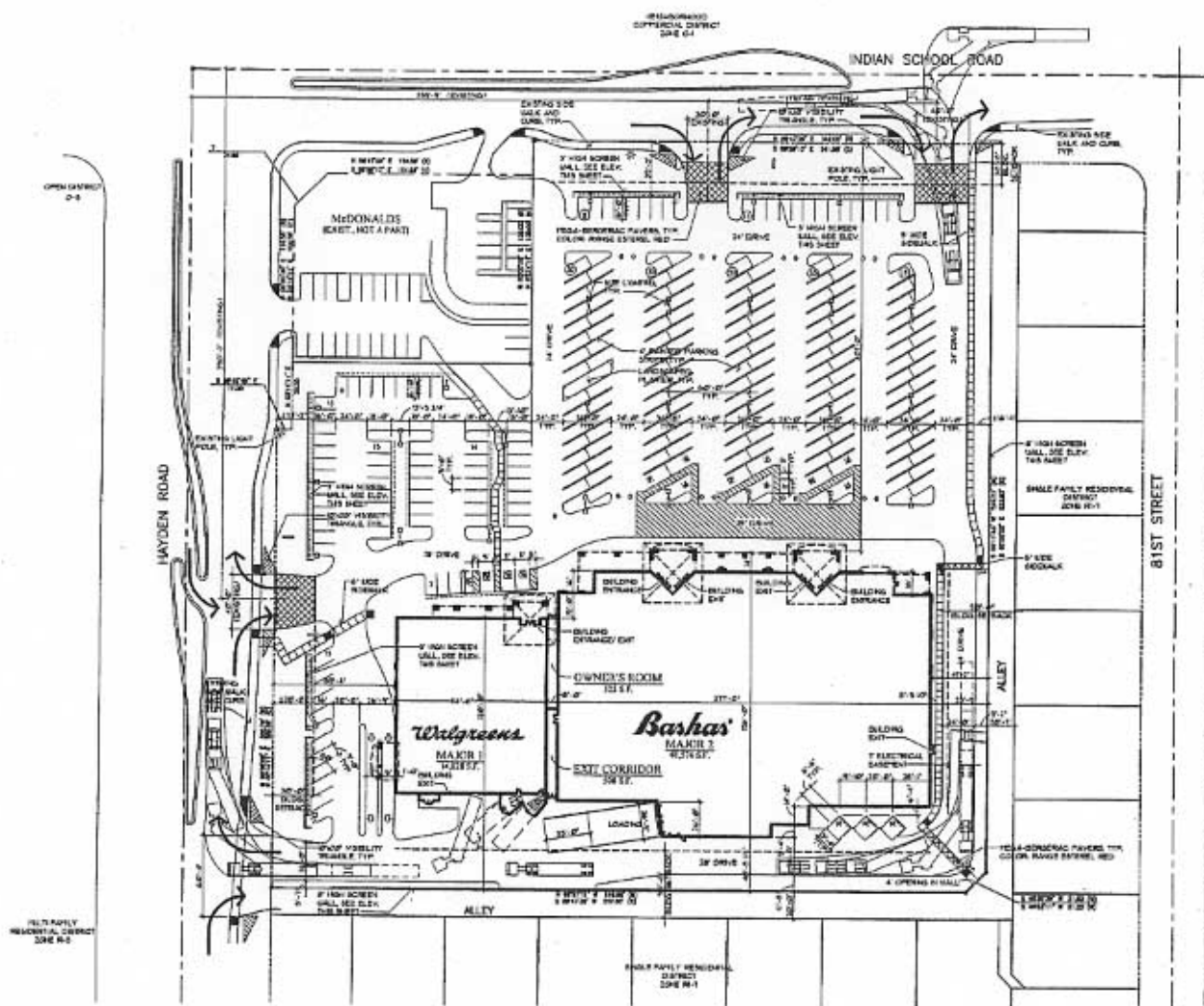
Basha's Shopping Center

69-DR-2003

ATTACHMENT #2A



50-DR-1974#3
ATTACHMENT #3



TYP. 3' SCREEN WALL ELEVATION
SCALE: 1/4" = 1'-0"

TYP. 8' SCREEN WALL ELEVATION
SCALE: 1/4" = 1'-0"

SITE PLAN
SCALE: 1" = 40'-0"

SITE DATA	
ADJACENT	C-1
GROSS SITE AREA	8.02 ac
NET SITE AREA	563,763 sq ft
TOTAL BUILDING AREA	63,395 sq ft
LOT COVERAGE	24.1%
OVERALL PARKING REQUIRED	222 spaces
SITE PLAN ACCESSIBLE REQ'D	7 spaces
MAJOR 1 (WALGREENS)	
BUILDING AREA (MAJOR 1)	14,800 sq ft
PARKING REQUIRED	
RETAIL (1/250)	60 spaces
ACCESSIBLE REQ'D	3 spaces
PARKING PROVIDED	
STANDARD STALLS	66 spaces
ACCESSIBLE STALLS	3 spaces
TOTAL PROVIDED	69 spaces
MAJOR 2 (BASHAS)	
BUILDING AREA (MAJOR 2)	48,595 sq ft
PARKING REQUIRED (GROCERY, CIRCLED SPACES)	
RETAIL (1/100)	162 spaces
ACCESSIBLE REQ'D	6 spaces
PARKING PROVIDED (GROCERY, CIRCLED SPACES)	
STANDARD STALLS	160 spaces
ACCESSIBLE STALLS	9 spaces
TOTAL PROVIDED	169 spaces
AREA CALCULATIONS	
F.A.R.:	
(NET LOT AREA x .8)	
(563,763 sq ft x .8)	= 451,010 sq ft
VOLUME RATIO:	
(NET LOT AREA x 9.6)	
(563,763 sq ft x 9.6)	= 5,412,125 cu. ft.
REQUIRED OPEN SPACE:	
MAX. BUILDING HT = 38' (38' ALLOWED)	
FIRST 12' OF HT = 10% x NET LOT AREA	
= .10 x 563,763 sq ft = 56,376 sq ft	
SECOND 12' OF HT = 18' x 664 x 262,770 sq ft = 16,916	
26,277 + 16,916 = 43,193	
FRONT OPEN SPACE:	
(ONE HALF REQ'D. OPEN SPACE)	
43,193 sq ft x .5	= 21,596
PARKING LANDSCAPE AREA:	
(PARKING AREA x .15)	
77,869 sq ft x .15	= 11,680 sq ft



Butler Design Group Inc.
Architects & Planners
8666 East Van Buren St.
Suite 215
Phoenix, Arizona 85008

PHONE 602-957-1800
FAX 602-957-7722



DESIGNED BY: DAVID J. BUTLER
CHECKED BY: DAVID J. BUTLER
DATE: 10/13/03

HAYDEN AND INDIAN SCHOOL
S.E.C. OF HAYDEN AND INDIAN SCHOOL
SCOTTSDALE/ARIZONA

Revision:

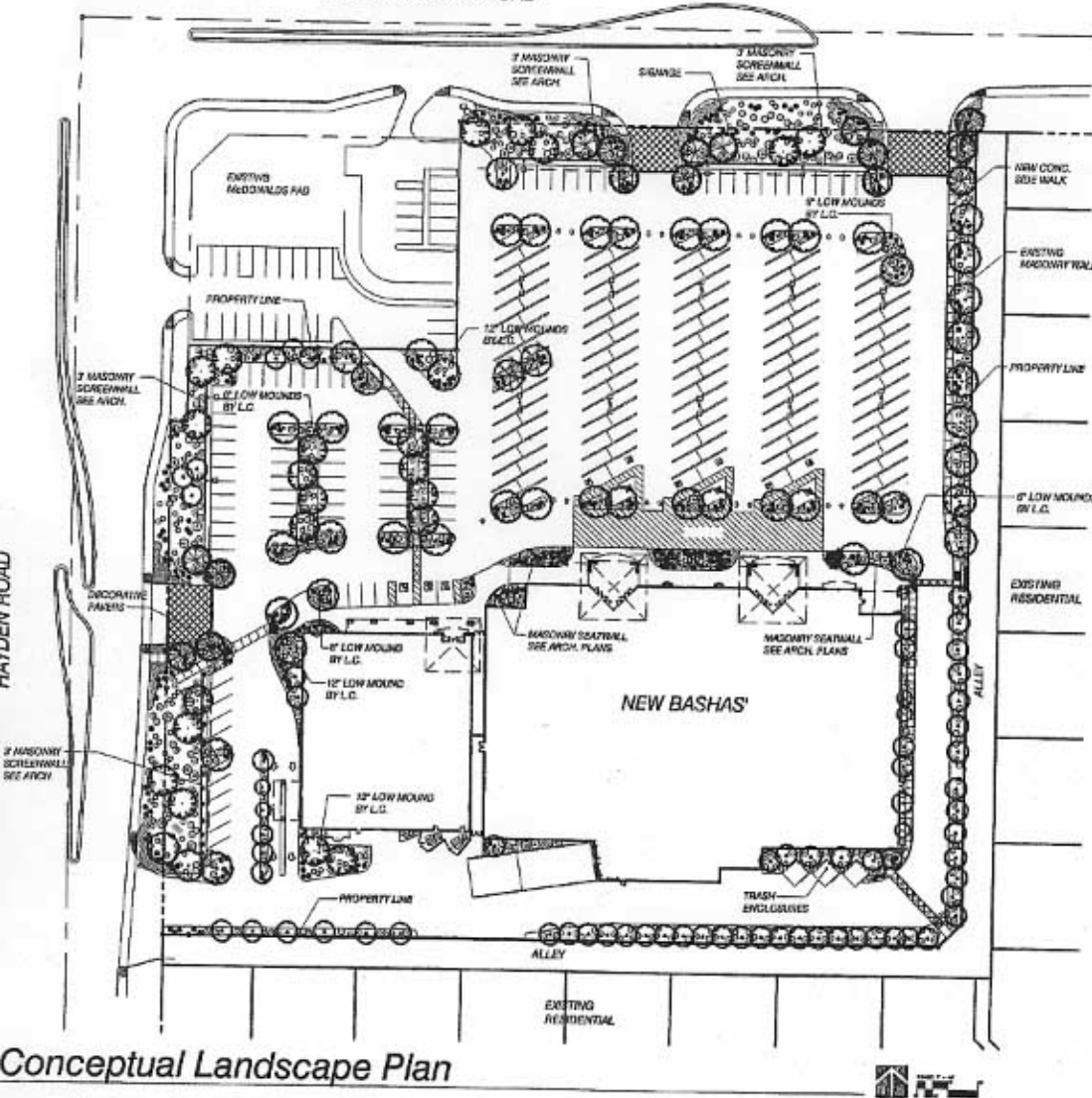
TITLE	SITE PLAN & SCREEN WALL ELEVATIONS
DATE	10/13/03
PROJECT NUMBER	03040
DESIGNER	MB
DATE OF PLAN	PH
DATE OF	040-001

- ☐ Design Development
- ☐ Progress Control, Docs.
- ☐ City Submit
- ☐ Bid Package
- ☐ Construction Issue
- ☐ Record Drawings

A0.1

69-DR-2003

INDIAN SCHOOL ROAD



Conceptual Landscape Plan

LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS
(U.D.A. - UNLESS OTHERWISE NOTED)

TREES	SIZE
Acacia saligna Wider Acacia	40'W 24' dia
Cercosiphia mexicana Mexican Blvd of Pines	24' dia m/v
Prosopis juliflora Desert Palm	35' L m/v, diamond cut
Cordia alliodora Sour Hybrid (Rose Desert Yucca)	Standard 30' dia m.v.
Acacia saligna Sweet Acacia	m/v 20' dia
Cercosiphia mexicana Blue Palo Verde	m/v 30' dia
Prosopis juliflora Desert Mesquite	m/v 24' dia

SHRUBS / ACCENTS 5 GAL.

Calliandra scopulorum Pink Fairy Duster	5 gallon
Gutierrezia serotoma Silver Cholla	5 gallon
Baccharis multiflora Desert Marigold	1 gal.
Cercosiphia mexicana Yellow Bird of Paradise	5 gallon
Ruellia brittaniana Mexican Petunia	5 gallon
Leucosiphium frutescens Green Cloud Sage	5 gallon
Tecoma stans Orange Jubilee	5 gallon
Rouphodaphne hirsuta Bottle Tree	5 gallon
Dasylirion wheeleri Desert Spoon	5 gallon
Anacardium occidentale Cashew	5 gallon
Agave americana Agave (TO BE APPROVED BY L.A.)	5 gallon
Agave americana Fawn Flower Agave	5 gallon
Dasylirion wheeleri Tortoise Shell Plant	5 gallon

SHRUBS / ACCENTS	SIZE
Nerium oleander Red/Yellow Nerium	5 gallon
Ficus religiosa Spanish Bayonet	24' dia m/v
Leucosiphium frutescens Green Cloud Sage	5 gallon
Eremophila alba White Star	5 gallon

GROUND COVER 5 GAL.

Lantana camara New Star & Purple Trailing Lantana	5 gallon
Ceanothus leucodermis Blue Mountain Glory	5 gallon
Suaeda frutescens Suaeda (1/2 min. sea spray)	50% 20' dia 2100 lbs m/v 80% 40' dia 4800 lbs m/v

Decomposed Granite 1/2" Medium Gold 2" wet
(Use in all landscape areas)
Submittal sample to Landscape Architect

Conceptual Landscape Plan

The entire site will be maintained in accordance with City of Scottsdale Standards.

50% of all trees will be 2" caliper or larger.

An automatic irrigation system will be installed guaranteeing 100% coverage to all landscape areas.

1/2" Minus Medium Gold, 2" minimum thickness (submit sample to Landscape Architect for approval). Place in all non-over rock and non-lawn landscape.

All earthwork will be done so that all water drains away from sidewalks, structures and will not create natural drainage easements.

Structures and landscaping within a charge measured back 10' from property line and 20' along property line on each side of the driveway entrance will be maintained at a maximum height of 3'.

All final landscape plans in meet City of Scottsdale minimum standards for quality and type.

SHOULDER DISTANCE TRIANGLES: AREAS TO BE CLEARED OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS BETWEEN 2' AND 7' IN HEIGHT.



LARSEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
1000 N. 10th Ave.
Suite 210
Phoenix, Arizona 85016
Tel: (602) 957-1800
Fax: (602) 957-7722

DEVELOPED BY:

Pederson
GROUP INC.

S.E.C. HAYDEN & INDIAN SCHOOL ROAD

PROPOSED SHOPPING CENTER
SCOTTSDALE, ARIZONA

Bdg

Butler Design Group
Architects & Planners

3020 East Camelback Road
Suite 210
Phoenix, Arizona 85016

phone: 602-957-1800
fax: 602-957-7722



NORTH ELEVATION



EAST ELEVATION

WEST ELEVATION



SOUTH ELEVATION

Pederson
GROUP INC.

HAYDEN CROSSING

S.E.C HAYDEN & INDIAN SCHOOL ROAD
SCOTTSDALE, ARIZONA

REDESIGNED
MAY 2003

B
Baker Design Group
Architects & Planners

ATTACHMENT #6

69-DR-2003

Stipulations for Case: Basha's Shopping Center 69-DR-2003

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Butler Design Group (Bdg) dated 11/3/2003 by City staff.
 - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by Butler Design Group (Bdg) dated 11/3/2003 by City staff.
 - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by Laskin & Associates, Inc dated 11/3/2003 by City staff.
 - d. Open Space, specifically the amount and location of open space and parking lot landscaping shall be consistent with the open space plan submitted by Butler Design Group (Bdg) dated 11/3/2003 by City staff.
 - e. The photometric, lighting fixture type, location and configuration of all site lighting shall be consistent with the lighting plans submitted by Tandem Engineering Southwest dated 11/3/2003 by City staff.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. The face of the service entrance section(s) shall be flush with the building façade and painted to match the building.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1' higher than the tallest unit.
4. All exterior conduit and raceways shall be painted to match the building.
5. No exterior roof ladder shall be allowed where they are visible to the public or from an off-site location.
6. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
7. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible with the building(s) on the site in terms of color and texture.
8. All walls shall match the architectural color, materials and finish of the building(s).
9. The Walgreen's entrance tower upper display window design shall be subject to the following criteria:

- A. Redesign the mortar and pestle logo within the tower without the use of neon, and the square footage of the logo shall be included within the Walgreen's sign budget allowed by the sign code.
- B. Any transparent glass shall be recessed a minimum of 30-inches (thickness of column) and the background color within the tower shall match one of the approved colors for the main building, to the satisfaction of plan review staff.
- C. Illumination within the tower shall be balanced with the illumination within the pedestrian arcade (not exceed the intensity of the arcade lighting; 15 foot-candles maximum) and shall be subject to re-inspection after installation to ensure the appropriate balance is achieved.

OPEN SPACE:**Ordinance**

- A. The abandonment of excess right-of-way adjacent along Indian School Road shall be approved by City Council prior to submittal of final plans, or demonstrate compliance with the opens space requirements.

LANDSCAPE DESIGN:**DRB Stipulations**

- 10. Landscape pots (36-inch diameter minimum and irrigated) and seating areas shall be provided along the storefront frontage if included in the open space calculation, to the satisfaction of plan review staff.
- 11. Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.

EXTERIOR LIGHTING DESIGN:**DRB Stipulations**

- 12. All exterior luminaries shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign and parking lot canopy lighting. All photometrics reading shall be based on a total light loss factor .70, or otherwise approved by plan review staff.
- 13. An individual luminarie lamp shall not exceed 450 watts.
- 14. The maximum height from finished graded to the bottom of the any exterior luminare shall not exceed 20 feet.
- 15. All exterior light poles, pole fixtures, and yokes, shall be a flat black or dark bronze.
- 16. Incorporate into the project's design, the following:

Parking Lot and Site Lighting:

- a. The maintained average horizontal illuminance level, at grade on the site, not including the arcade area, shall not exceed 3.3 foot-candles.
- b. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 11.6 foot-candles. All exterior luminaries shall be included in this calculation.
- c. The initial vertical illuminance at 6.0 foot above grade, along the North and West property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 1.5 foot-candles. At the pedestrian access located at the southeast corner of the site, the maximum vertical illuminance at the property line shall be 2.5 foot-candles. All exterior luminaries shall be included in this calculation.
- d. The initial vertical illuminance at 6.0 foot above grade, along the East and South property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 0.3 foot-candles. All exterior luminaries shall be included in this calculation.

Building Mounted Lighting:

- e. All luminaries shall be recessed or shielded so the light source is not directly visible from property line.
- f. Wall mounted luminaries shall contain house side shields, and be mounted on a minimum 4-inch long bracket that is mounted perpendicular to the wall.

Drive-thru Canopy and Breezeway (Arcade) Lighting

- g. The maintained average horizontal illuminance at grade at the storefront entries including any spill light from store interior shall not exceed the maintained average horizontal illuminance level at grade of (5) foot-candles. The maintained maximum horizontal illuminance level at grade along the storefront entries shall not exceed fifteen (15) foot-candles.
- h. The maintained average horizontal illuminance at grade below the canopy shall not exceed the maintained average horizontal illuminance level at grade of (5) foot-candles. The maintained maximum horizontal illuminance level at grade along the storefront entries shall not exceed fifteen (15) foot-candles.

VEHICULAR AND BICYCLE PARKING:**DRB Stipulations**

- 17. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

ADDITIONAL PLANNING ITEMS:**DRB Stipulations**

- 18. A new 8-foot tall perimeter wall shall be provided along the south and east property lines, except at approved openings coordinated with the neighborhood.
- 19. All screen and perimeter walls shall be 6 or 8-inch masonry block and shall match building texture and color, both sides. Dooley wall fencing shall not be allowed for the perimeter wall.
- 20. Flagpoles, if provided, shall be one piece, conical, and tapered.

ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

APPLICABLE DOCUMENTS AND PLANS:

21. Preliminary Drainage Report for SEC Hayden & Indian School Roads, Phoenix, Arizona, submitted by Norman Engineering Group, inc., and dated August 13, 2003.
22. Concept Grading and Drainage Plan SEC Hayden and Indian School Road, submitted by Norman Engineering Group, Inc., and dated 11/3/2003 by city staff.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

23. A final drainage report shall be submitted that demonstrates consistency with the conceptual drainage report approved in concept by the Planning and Development Services Department and the Approved Stormwater storage wavier.
 - a. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.
24. Stormwater Storage on Paved Surfaces. Up to 50% of required stormwater storage may be provided in parking areas when the following conditions are met:
 - a. Storage system shall be designed to store first 30% of required runoff volume off paved areas (to avoid ponding of nuisance water on pavement).
 - b. Parking lot storage areas shall be designed so as to minimize interference with pedestrian traffic. Depth of water shall not exceed six inches within the parking area.

Ordinance

- B. With the final improvement plans submittal to the Plan Review and Permit Services Division, the developer shall submit a final drainage report and plan, subject to City staff approval.

INTERNAL CIRCULATION:

DRB Stipulations

25. The developer shall provide a minimum parking-aisle width of 24 feet.
26. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.

Ordinance

- C. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.

EASEMENTS AND DEDICATIONS

EASEMENT / DEDICATION	DESCRIPTION
Sight Distance Easement	Sight Distance Easements shall be dedicated at each driveway location

DRB Stipulations

27. Sight distance easements shall be dedicated over sight distance triangles.

- a. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
- b. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.

Ordinance

D. Waterline and Sanitary Sewer Easements:

- (1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

REFUSE:**DRB Stipulations**

28. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail #2146-1.

29. Enclosures must:

- a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
- b. Be positioned to facilitate collection without "backtracking."
- c. Be easily accessible by a simple route.
- d. Not require backing more than 35 feet.
- e. Not be located on dead-end parking aisles.
- f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

Ordinance

E. Refuse enclosures are required as follows:

- (1) Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.

F. Underground vault-type containers are not allowed.

G. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.

H. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

WATER:**DRB Stipulations**

30. Basis of Design Report (Water):

- a. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Water Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.

31. All onsite water shall be removed to the peripheral lines in Hayden and Indian School. New infrastructure shall be constructed to provide for water and fire services.

Ordinance

- I. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

WASTEWATER:**DRB Stipulations**

32. Wastewater Basis of Design Report. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Wastewater Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.
33. All onsite Sewer shall be removed to the peripheral lines in Hayden and Indian School. New infrastructure shall be construed to provide for sewer service.

Ordinance

- J. Grease interceptors shall be provided at restaurant connections to the sanitary sewer. The interceptors shall be located as to be readily and easily accessible for cleaning and inspection.

CONSTRUCTION REQUIREMENTS**DRB Stipulations**

34. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.
 - a. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
 - b. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges as determined by city staff.

Ordinance

- K. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]